



# Infrastructure Services

## GUIDE TO DECK PERMIT APPLICATIONS



**Town of Halton Hills  
1 Halton Hills Drive  
Halton Hills ON L7G 5G2**

**General Inquiries: 905-873-2601 ext. 2923**

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**Building Permits for Decks  
 In the  
 Town of Halton Hills**

**1.0 ZONING AND ONTARIO BUILDING CODE REQUIREMENTS FOR DECKS**

All Decks must be located and configured in compliance with the applicable Zoning By-Laws. Please contact the Zoning Officer at the Town of Halton Hills Infrastructure Services – Building Section to obtain the relevant requirements (i.e. Setbacks, etc.).

Depending on the size/area of the decks, their height above the finished grade, attachment to the adjacent building and access conditions, decks may need to comply with the OBC requirements. The following table identifies when decks will require a building permit:

<b>DECK INFORMATION (Conditions)</b>	<b>BUILDING PERMIT REQUIREMENT</b>
attached to the building (any area, any height*)	<b>Required</b>
area greater than 10 m <sup>2</sup> (108 sq ft), and height* more than 600 mm (24")	<b>Required</b>
<b>area greater than 10 m<sup>2</sup> and height* equal to or less than 600 mm, but not attached to the building</b>	<b>Not Required</b>
area equal to or less than 10 m <sup>2</sup> and height more than 600 mm, but not attached to the building	<ol style="list-style-type: none"> <li>1. <b>Required</b> – If there is a door in the adjacent wall that provides access to the deck from the house</li> <li>2. <b>Not required</b> – If the deck is not accessible from the house</li> </ol>

\* Height of deck above finished grade.

## 2.0 GUIDE TO BUILDING PERMIT APPLICATIONS FOR DECKS

To apply for a building permit for a deck, you are required to submit the following:

- **Application form:** A standardized application form prescribed by the Ministry of Municipal Affairs and Housing needs to be completed. A copy of the application form is included in this Guide, alternatively the application can be obtained on the Ministry of Municipal Affairs and Housing website:

[www.obc.mah.gov.on.ca/userfiles/HTML/nts\\_4\\_24327\\_1.html](http://www.obc.mah.gov.on.ca/userfiles/HTML/nts_4_24327_1.html)

As of January 1, 2006, In conformance with the Ontario Building Code, s.3.2., Div,C, except when the owner designs his/her own deck. A deck is designed by architects or engineers, all other persons responsible for a deck design must be qualified. The designer information needs to be specified on Schedule 1 of the application form and on every document submitted for a building permit. The standard templates provided by the Ministry may be used by the designers to provide the required information on the drawings.

- **Two copies of survey/plot plan showing:**
  - location of all structures presently on the property;
  - location of septic tank and tile bed, if applicable (measurement to the proposed deck shall be indicated, if close by);
  - location of proposed deck, including stairs, with accurate measurements to all lot lines and all deck and stairs dimensions.

**NOTE:** All proposed construction must be kept away from existing septic tanks and tile beds, and clear access to septic tanks must be maintained for servicing requirements.

- **Two copies of Design drawings and specifications:**
  - **Plan view** indicating size and spacing of the foundations, floor joists and beams; size and location of existing and/or proposed door openings in the adjacent walls (lintel span and size for new openings shall be indicated);
  - **cross section(s)** indicating height of the deck from finished grade, attachment details to building (if applicable) and other relevant structural framing details/information;
  - **elevation(s)** (views) showing guards/railing, stairs, etc.

**See attached samples (drawings D1-D4) of typical survey/plot plan and design drawings.**

**NOTE:** As a quick check for the completeness of your construction details, ask yourself the following question: "Would a qualified person be able to construct a deck from my plans without having to ask me any questions?"

- **Other approvals:** Prior to the issuance of a building permit from the Town, some other approvals may be required. Infrastructure Services staff may be contacted if assistance is required to determine which approvals apply to specific applications.

If the property is under the **Conservation Authorities Act** (re: proximity to flood plains and watercourses) the applicant is required to contact one or more of the following agencies for further information (to obtain either a permit or exemption): Credit Valley Conservation Authority, Halton Conservation and/or Grand River Conservation Authority

Contacts:

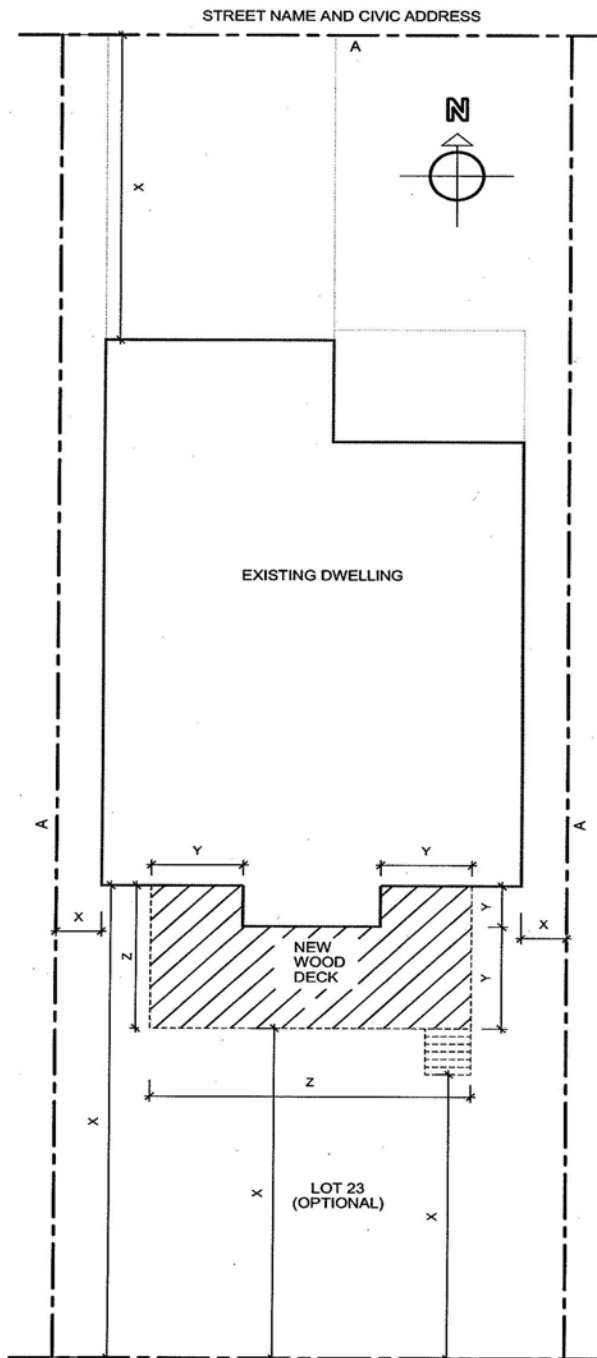
Credit Valley Conservation Authority 1255 Old Derry Road Mississauga, ON L5N 6R4	905-670-1615
Halton Conservation 2596 Britannia Road West R.R. #2 Milton, ON L9T 2X6	905-336-1158
Grand River Conservation P.O. Box 729 Cambridge, ON N1R 5W6	519-621-2761 1-866-900-4722

If the property is within the **Niagara Escarpment Commission** controlled area, the applicant is required to obtain either a NEC Development Permit or an exemption letter.

Contact:

Niagara Escarpment Commission 232 Guelph Street Georgetown, On L7G 4B1	905-877-5191
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- **Building permit fee** is required to be paid at the same time an application for a building permit is submitted. For the current fee schedule please contact the Building Permit Coordinators, or visit the Town's website.
- **Damage Deposit** (safeguard to Town owned infrastructure such as roads and curbs) is required to be paid for deck projects and will be collected prior to the issuance of the building permit. Upon completion of the work (and closing of the building permit), the Town of Halton Hills Infrastructure Services will release this deposit to the property owner.



### Survey / Plot plan

A survey / plot plan identifies buildings, structures and other features such as septic tank and tile bed, in relation to property boundaries.

Your existing house and proposed deck must be identified on the survey / plot plan.

Most or all of the information required for a survey / plot plan can be found on your property survey. You may have received one when you bought your home. If not, you can retain a surveyor. (The Chief Building Official may waive the requirement to have a plot plan prepared by a registered surveyor, depending on the specific conditions.)

The following information shall be on this plan:

- Title of drawing and scale, date of drawing and designer information
- Legal description
- Street name and civic number
- North Arrow
- Property line with dimensions (A)
- Setbacks to all property lines from existing and proposed buildings or decks, and other features including sewage disposal systems (X)
- Proposed construction (shaded), fully dimensioned (Y)
- Overall deck dimensions (Z)
- Right-of-way and easements, if any

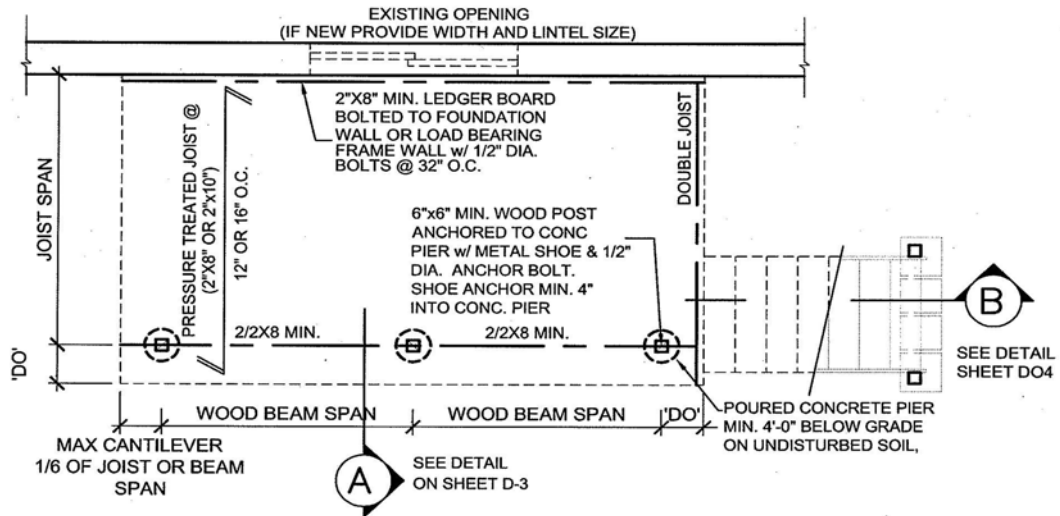
### Note:

Prior to applying for a building permit, the applicant must obtain information from the Zoning section of the Building Section to determine setback requirements permitted by applicable zoning by-laws at the Town of Halton Hills

TYPICAL SURVEY / PLOT PLAN  
(SAMPLE)

D - 1

## TYPICAL DECK PLAN

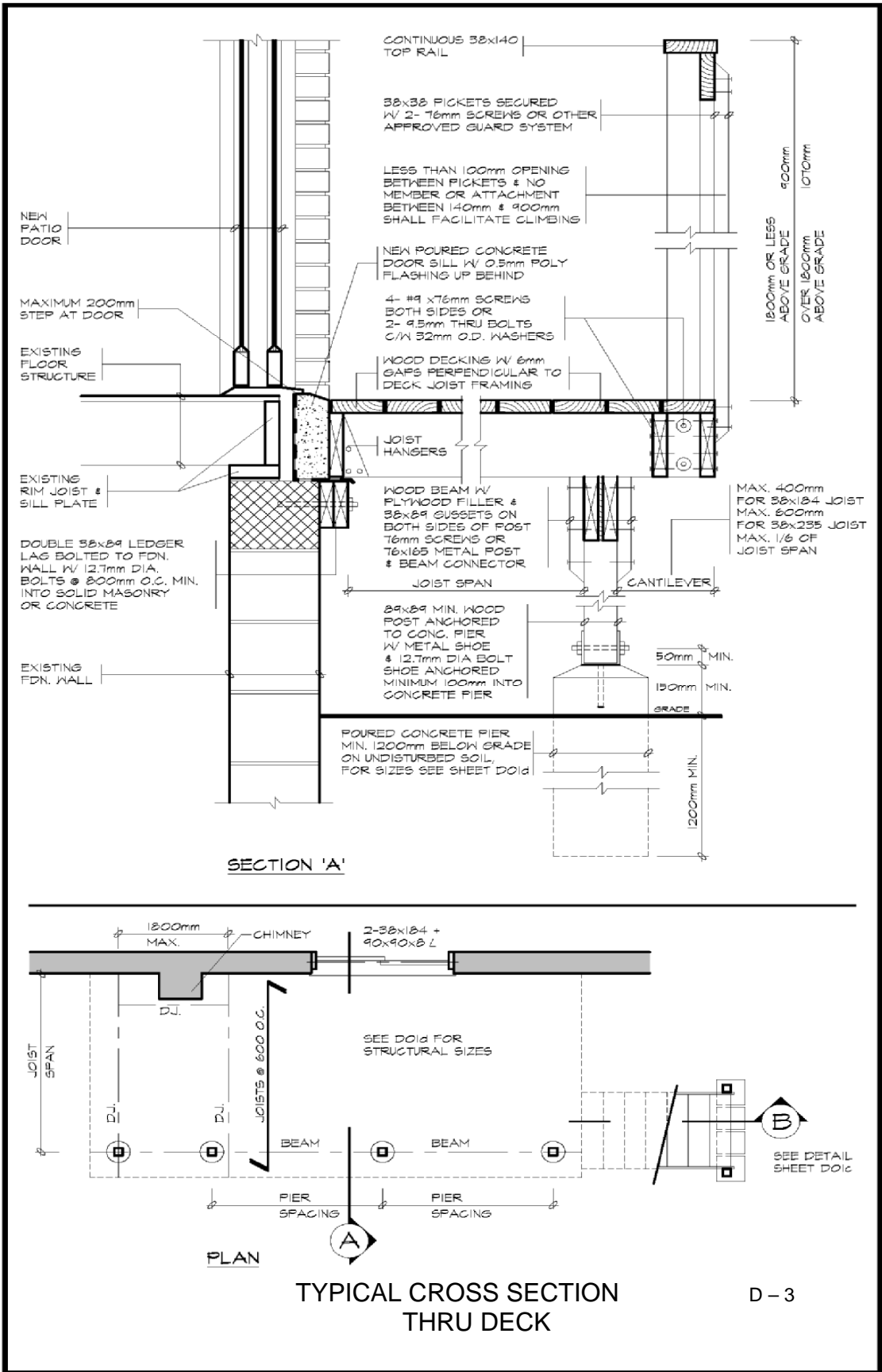


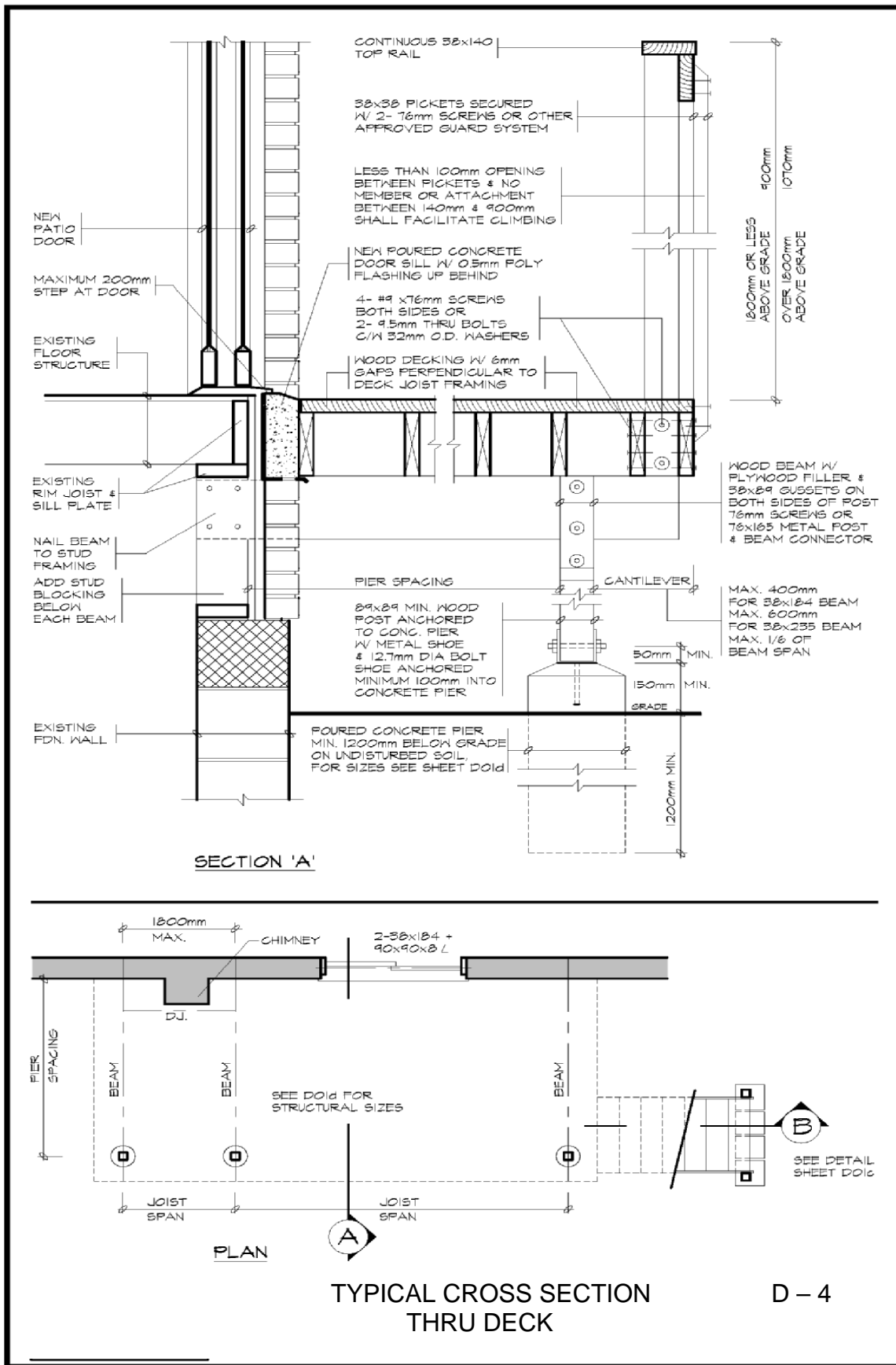
### GENERAL NOTES

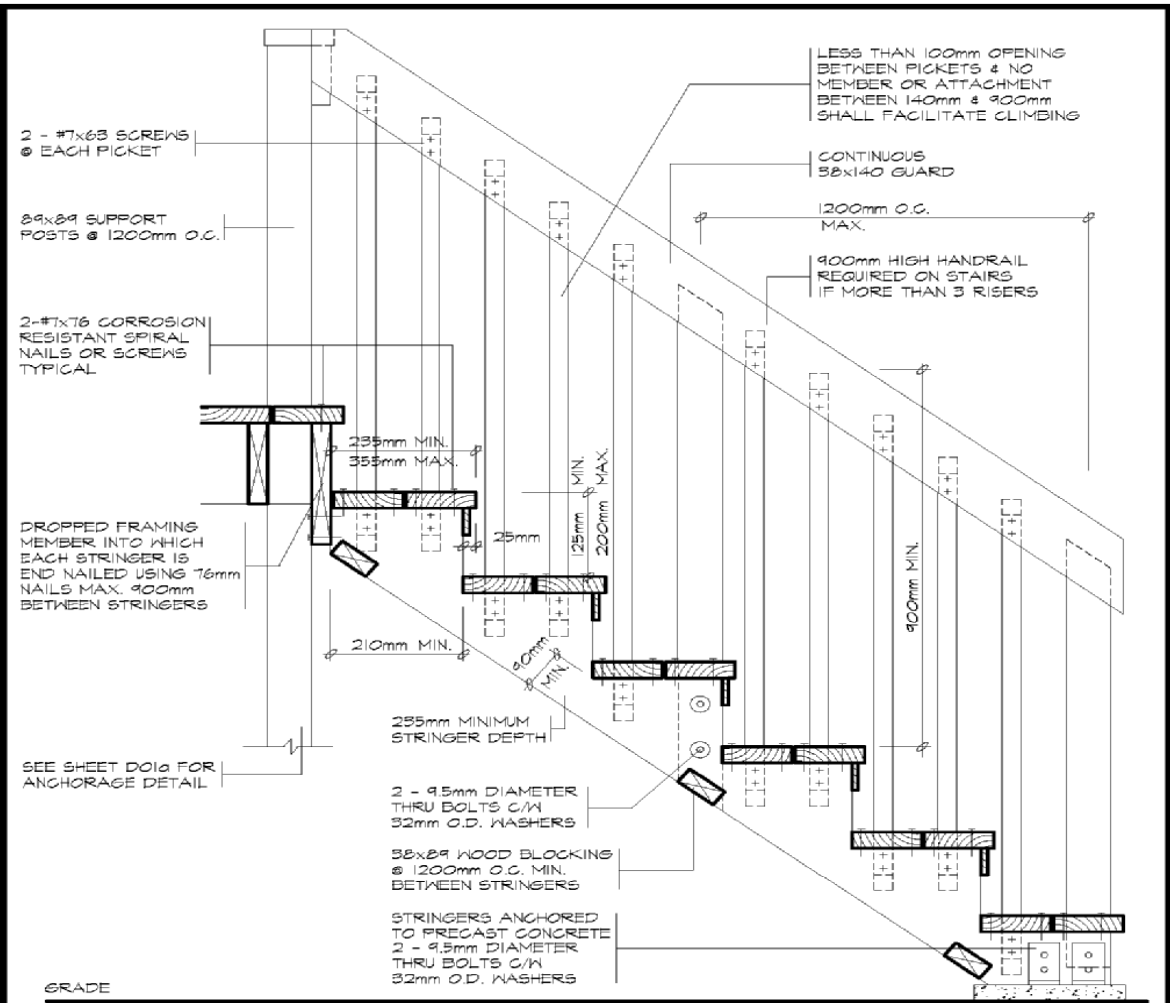
1. SURVEY / PLOT PLAN SHALL BE PREPARED AND SUBMITTED - SEE DRAWING D-1
2. LUMBER NO. 2 SPF OR BETTER, WOOD POSTS MIN. 6"X6". USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.
3. DECK IS NOT PERMITTED TO BE SUPPORTED ON BRICK VENEER OR OTHER SIDING MATERIAL (MUST BE EITHER CONNECTED TO BUILDING FRAMING OR FOUNDATION WALL - SEE SECTION ON DRAWING D-3)
4. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL.
5. PROVIDE A HANDRAIL 31"-38" HIGH ON STAIRS IF MORE THAN THREE RISERS. PROVIDE A GUARD ON BOTH SIDES. (SEE DRAWING D-4)
6. INDICATE LOCATION OF THE EXISTING SEPTIC TANK AND TILE BED, AND CLEARANCES TO NEW

TYPICAL DECK PLAN WITH  
GENERAL NOTES (SAMPLE)

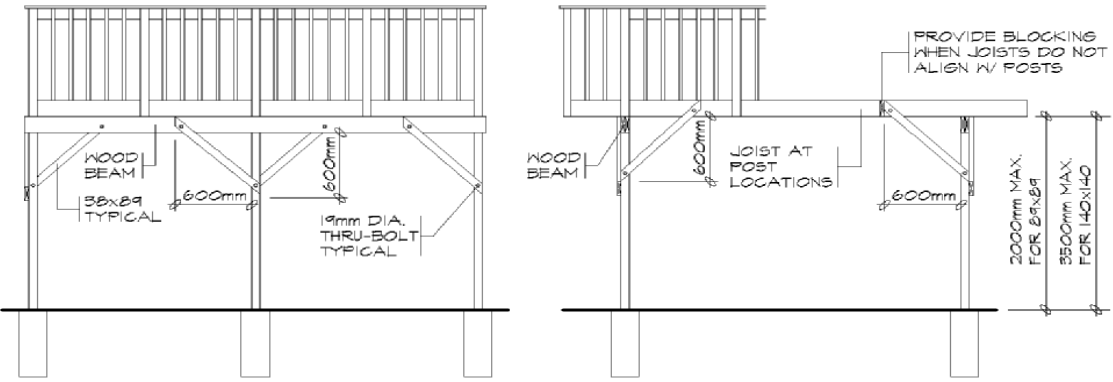
D - 2







**SECTION 'B'**



**BRACING PARALLEL TO BEAM**

**BRACING PERPENDICULAR TO BEAM**

FREE STANDING DECKS GREATER THAN 600mm ABOVE GRADE SHALL RESIST LATERAL LOADING & MOVEMENT. ALL POSTS MUST BE BRACED WHERE THE SUPPORTED AREA EXCEEDS THOSE LISTED IN THE TABLE ON D01d

**TYPICAL CROSS SECTION THRU STAIR D - 5**

# Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act.

<b>For use by Principal Authority</b>	
Application number:	Permit number (if different):
Date received:	Roll number:

Application submitted to: TOWN OF HALTON HILLS  
(Name of municipality, upper-tier municipality, board of health or conservation authority)

<b><u>A. Project information</u></b>			
Building number, street name		Unit number	Lot/con.
Municipality	Postal code	Plan number/other description	
Project value est. \$		Area of work (m <sup>2</sup> )	
<b><u>Applicant</u></b>		<input type="checkbox"/> <u>Owner</u> or <input type="checkbox"/> <u>Authorized agent of owner</u>	
<b>Applicant is:</b>			
Last name		First name	Corporation or partnership
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number (    )	Fax (    )	Cell number (    )	
<b><u>Owner (if different from applicant)</u></b>			
Last name		First name	Corporation or partnership
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number (    )	Fax (    )	Cell number (    )	
<b><u>Builder (optional)</u></b>			
Last name		First name	Corporation or partnership (if applicable)
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number (    )	Fax (    )	Cell number (    )	
<b><u>Purpose of application</u></b>			
<input type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building		Current use of building	
Description of proposed work			

## **Tarion Warranty Corporation (Ontario New Home Warranty Program)**

- i. Is proposed construction for a new home as defined in the *Ontario New Home Warranties Plan Act*?  Yes  No  
If no, go to section G.
- ii. Is registration required under the *Ontario New Home Warranties Plan Act*?  Yes  No
- iii. If yes to (ii) provide registration number(s): \_\_\_\_\_

### **Attachments**

- i. Attach documents establishing compliance with applicable law as set out in Article 1.4.1.3. of Division A.
- ii. Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.
- iii. Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.
- iv. Attach types and quantities of plans and specifications for the proposed construction or demolition that are prescribed by the by-law, resolution, or regulation of the municipality, upper-tier municipality, board of health or conservation authority to which this application is made.

### **Declaration of applicant**

I \_\_\_\_\_ certify that:  
(print name)

1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.

\_\_\_\_\_ Date

\_\_\_\_\_ Signature of applicant

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

## Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

<b>A. Project Information</b>			
Building number, street name		Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description	
<b>Individual who reviews and takes responsibility for design activities</b>			
Name		Firm	
Street address		Unit no.	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number (     )	Fax number (     )	Cell number (     )	
<b>Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]</b>			
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural	
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems	
Description of designer's work			
<b>Declaration of Designer</b>			
I _____ declare that (choose one as appropriate):			
(print name)			
<input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.			
Individual BCIN: _____			
Firm BCIN: _____			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.			
Individual BCIN: _____			
Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code.			
Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
_____		_____	
Date		Signature of Designer	

**NOTE:**

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of authorization, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

### 3.0 BUILDING PERMIT ISSUANCE

If your submission is a “complete application”, the process will be completed within 10 working days, at which time the Building Permit will be issued or refused. If the application is refused, all reasons for the refusal will be listed in the refusal letter. When you address all outstanding items, i.e. make necessary modifications and/or obtain all missing information, then you may submit the missing documentation to Infrastructure Services for review. Even though the said 10-day timeframe is no longer applicable for your resubmission, you may expect this additional review to be completed within a similar time period.

If your application is not acceptable due to zoning non-compliance, you can either apply to the Committee of Adjustment for a Minor Variance to zoning requirements or apply for a Zoning Amendment (rezoning). These applications should be submitted to the Planning Department. For additional information please contact (905) 873-2601 ext. 2252.

If your application is not acceptable due to Building Code non-compliance, you may modify your application and re-submit.

### 4.0 FIELD INSPECTIONS

When the application review process is completed and the appropriate permit issued, the construction phase may begin.

While work is being done, the permit must be posted in a conspicuous location on site. The plans and/or specifications reviewed by Infrastructure Services must also be kept on site and available for review by a building inspector.

**All work must be carried out in accordance with the reviewed Building Permit documentation and the Ontario Building Code.**

Any proposed changes to the plans must be submitted to Infrastructure Services and approved prior to actual construction.

All mandatory inspections required for your deck will be listed on the building permit card.

The Building Inspector will inspect your project at key stages during construction. For decks, there are three mandatory inspections:

- prior to constructing the **foundation** system;
- upon substantial completion of **structural framing**, and
- upon completion of all proposed work - **final inspection**.

The last two inspections (structural framing and final inspection) may be scheduled at the same time. (Please note that inspectors must be able to see the area of the construction that they are required to inspect).

The person responsible for the construction project must request each inspection, allowing 48 hours advance notice, excluding weekends and statutory holidays.

If a Building Inspector determines that some work does not conform to the approved plans or the Ontario Building Code, he or she will advise through a written inspection report that the situation is to be remedied. If the violation is serious, an Order to Comply may be issued. Further inspections may be required before work can resume.

When all work is completed and inspected, building permit will be closed and damage deposit will be returned.

An open building permit is an order against the property and may cause you a problem when selling the property or during a re-financing process.

## **FURTHER INFORMATION**

For further information or to obtain building permit application documents, contact the Town of Halton Hills, Infrastructure Services at:

**905-873-2601, or 1-877-712-2205:**

<b>INSPECTION HOTLINE</b>	<b>EXT. 77431</b>
<b>INSPECTION COORDINATOR</b>	<b>EXT. 2922</b>
<b>BUILDING PERMIT COORDINATORS</b>	<b>EXT. 2924</b>
<b>ZONING OFFICER</b>	<b>EXT. 2320</b>
<b>FAX NUMBER</b>	<b>(905) 873-3036</b>
<b>EMAIL</b>	<b><a href="mailto:building@haltonhills.ca">building@haltonhills.ca</a></b>

You may also visit the Town of Halton Hills website at:

**[www.haltonhills.ca](http://www.haltonhills.ca)**

## **BEFORE YOU DIG:**

The applicant must call appropriate utilities before digging:

Region of Halton (Sanitary sewers and water mains)	1-866-442-5866, option 0
Halton Hills Hydro (Hydro lines)	519-853-3700 ext 253
Ontario One Bell Canada (Telephone lines) Union Gas (Gas Lines)	1-800-400-2255 / <a href="http://www.on1call.com">www.on1call.com</a>
Cogeco Cable (Cable TV)	1-800-267-9000